



## King County

Department of Natural Resources and Parks  
Wastewater Treatment Division

### Regulatory Compliance and Land Acquisition Services

King Street Center, KSC-NR-0505  
201 South Jackson Street  
Seattle, WA 98104-3855

---

May 8, 2020

Robin Proebsting, Senior Planner  
City of Mercer Island  
9611 SE 36th Street  
Mercer Island, WA 98040

### North Mercer Island Interceptor and Enatai Interceptor Upgrade Project – Response to City of Mercer Island Request for Information 2 (PAE19-001, CAO19-020, and SHL19-019)

Dear Ms. Proebsting:

This letter is in response to your request for information on the land use permit application materials for the North Mercer Island Interceptor and Enatai Interceptor Upgrade Project (NME Project) on Mercer Island, Washington. This letter addresses comments from the City of Mercer Island (Mercer Island) Community Planning and Development Department on May 1, 2020.

As identified in the comment letter, we have provided a brief narrative on which a condition of approval can be based. The following is the Mercer Island comment and the response in *italics*.

**Mercer Island Comment:** It is unclear from the project materials how the proposed temporary improvements along SE 22<sup>nd</sup> St meet the yard standards in MICC 19.02.020(C)(3). Application materials state that temporary improvements, including a standby generator about 14 feet tall, an odor control unit about 8 feet tall, and a temporary electrical transformer about [6] feet tall will be within the front yard setback.

“Yard” is defined as “required to be kept open by the yard requirements prescribed herein.” MICC 19.02.020(C)(3) lists structures that are allowed to be within required yard, it is not clear from the application materials how the code is proposed to be met.

Options I can think of to demonstrate code compliance include:

- a. An explanation of how the proposed temporary improvements fall into an exception (e.g. MICC 19.02.020(C)(3)(e), if this applies);
- b. Moving the temporary improvement out of the front yard setback; or
- c. Applying for a setback deviation, pursuant to MICC 19.06.110.

**Response:** *Based on our review of MICC 19.02.020(C)(3)(e), it appears that all of the temporary improvements (e.g., standby generator, odor control unit, and electrical transformer) meet the specified*

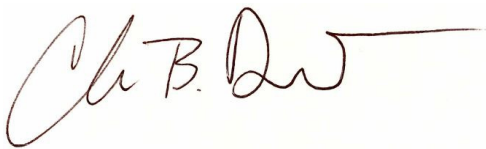
Robin Proebsting  
May 8, 2020



*requirements. They can all be categorized as mechanical and electrical equipment. All of the equipment is specified to meet all noise levels as specified under WAC 173-60-040. Finally, the equipment will be located more than 3 feet from any lot line, per Sheet T-C101 in the Development Plan Set (attached).*

If you have any questions, please contact me at 206-477-5458, or email me at [chris.dew@kingcounty.gov](mailto:chris.dew@kingcounty.gov).

Sincerely,



Christopher Dew  
Water Quality Planner/Project Manager

Enclosure(s): Sheet T-C101

**NOTES:**

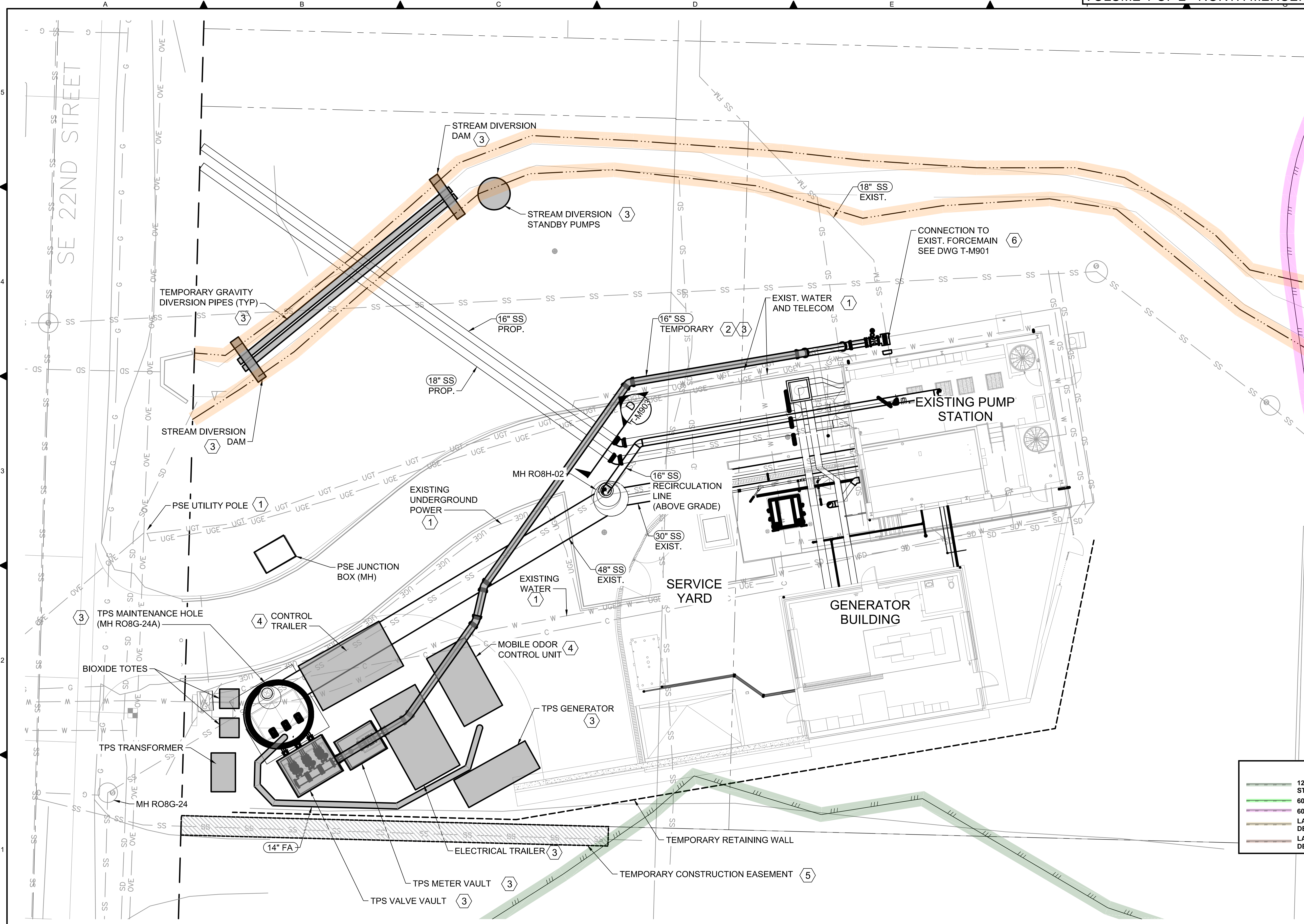
1. SEE DWG T-M901 AND T-M902 FOR TPS PLAN AND SECTIONS.
2. ITEMS SHOWN IN GRAY SHALL BE REMOVED FROM THE SITE UPON DECOMMISSIONING OF TPS. TEMPORARY ELECTRICAL, CONTROLS AND ODOR UNIT TRAILERS SHALL BE RETURNED TO KING COUNTY SOUTH PLANT.

**# KEY NOTES:**

1. PROTECT EXISTING UTILITIES IN PLACE OR RELOCATE AS REQUIRED.
2. UPON DECOMMISSIONING OF TPS, REMOVE TEMPORARY FORCE MAIN.
3. CONTRACTOR PROVIDED TEMPORARY EQUIPMENT.
4. CONTRACTOR SHALL USE COUNTY PROVIDED MOBILE ODOR UNIT AND CONTROL TRAILER. CONTRACTOR RESPONSIBLE FOR MODIFYING THESE FACILITIES TO MEET THE TPS REQUIREMENTS.
5. TEMPORARY CONSTRUCTION EASEMENT IS 4' WIDE BY 86' LONG

**NOTE TO REVIEWER**

6. NEED TO CONFIRM WITH COUNTY HOW EXISTING FORCE MAIN SHOULD BE DECOMMISSIONED AT PUMP STATION TO ALLOW FUTURE INSPECTION AND ASSESSMENT



**CRITICAL AREAS LEGEND**

120' POTENTIAL FISH-BEARING STREAM BUFFER	SEISMIC HAZARD AREA
60' PERENNIAL STREAM BUFFER	200' LAKE WASHINGTON BUFFER
60' SEASONAL STREAM BUFFER	ORDINARY HIGH WATER MARK
LANDSLIDE HAZARD AREA: DEEP-SEATED AND SHALLOW	LANDSLIDE HAZARD AREA: STEEP SLOPE
LANDSLIDE HAZARD BUFFER: DEEP-SEATED AND SHALLOW	LANDSLIDE HAZARD BUFFER: STEEP SLOPE

BORDER FILE EDITION: KOWTD-2012-02-26-TP-Boarder  
 FILE LOCATION: C:\p\scs\scs\Seattle\12559200-12559-18001\CAD\SheetFiles\Mercer Island\LUP\SheetFiles\333-E00008E\13TC101.dwg  
 PLOT DATE: 2/26/2019 9:47 AM  
 PLOTTED BY: Monis, Richard

NO	REVISION DESCRIPTION	BY	APVD	DATE



**PRELIMINARY ISSUE DRAWING**  
 INFORMATION ONLY  
**DRAFT**  
 MERCER ISLAND LAND USE SET  
 SEPTEMBER 2019

DESIGNED/DRAWN: E. SCHEY  
 PROJECT ENGINEER: J. CHAE  
 DESIGN APPROVAL: R. BROWNE  
 PROJECT ACCEPTANCE: S. YILDIZ

SCALE: 1"=10'  
 REFERENCE: 1"  
 FACILITY NUMBER: 333  
 CONTRACT NO: C01339C20



DEPARTMENT OF NATURAL RESOURCES & PARKS  
 WASTEWATER TREATMENT DIVISION  
 NORTH MERCER INTERCEPTOR AND ENATAI INTERCEPTOR  
 UPGRADE - PUMP STATION IMPROVEMENTS  
**TEMPORARY FACILITIES**  
**CIVIL SITE PLAN**

DCN:	DATE: 05/02/2019
PROJECT FILE NO:	DRAWING NO: <b>TC101</b>
SHT NO / TOTAL	REV NO: